

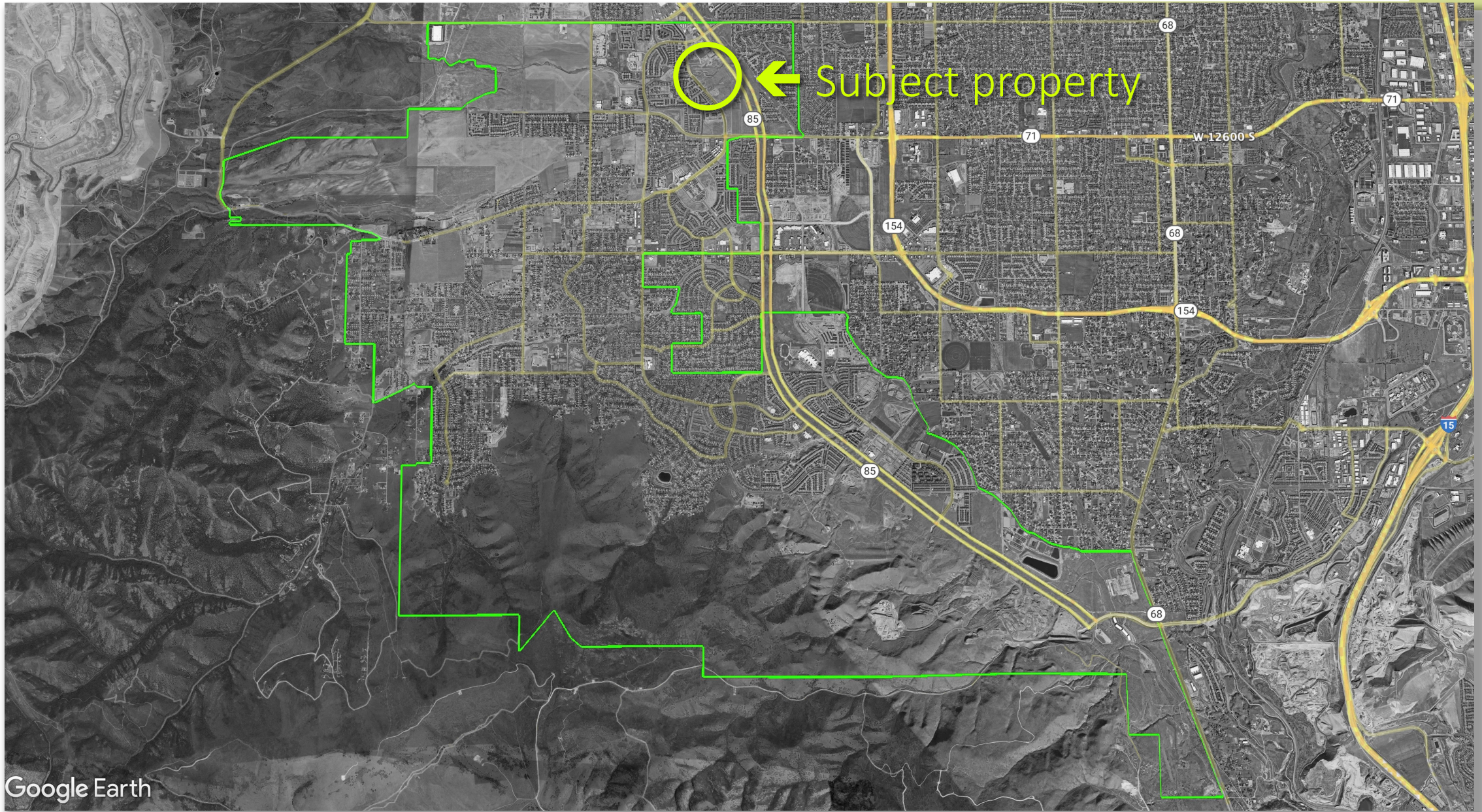


Midas Creek Plaza MDA Amendment

City Council Work Meeting

February 22, 2023

Vicinity Map

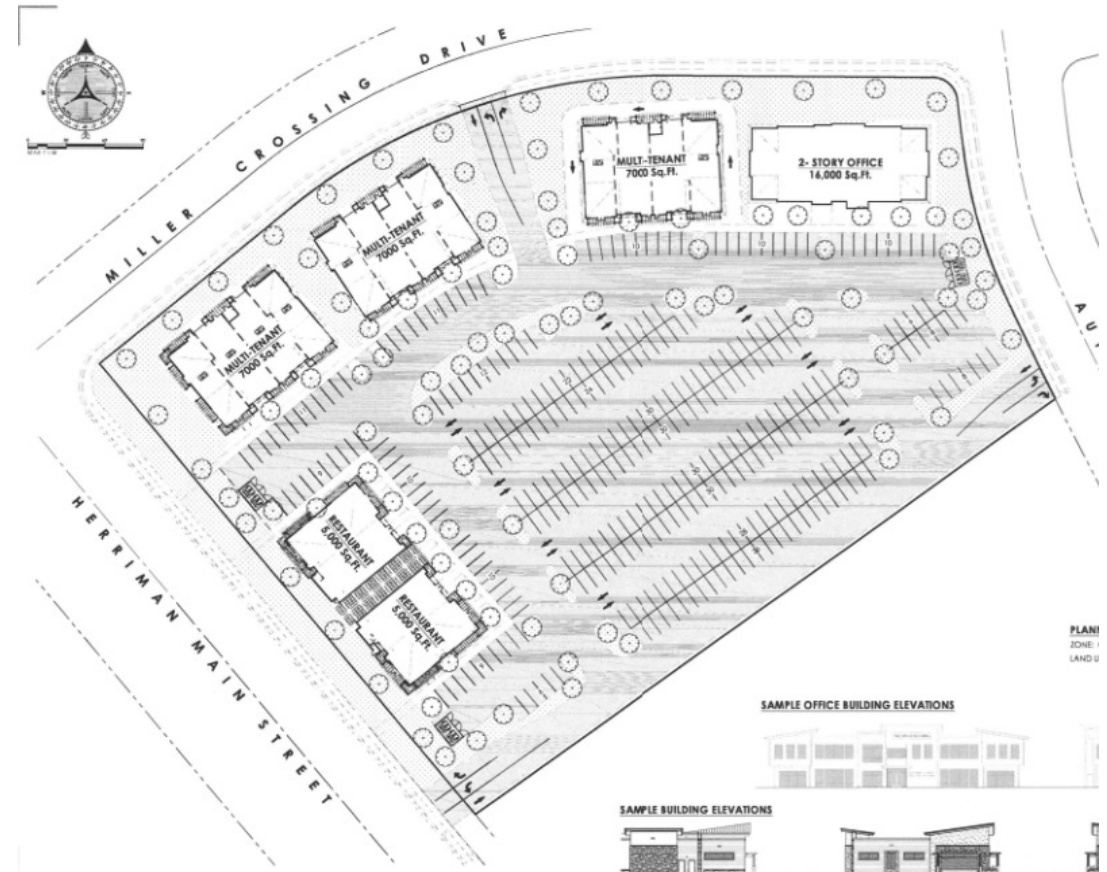


Vicinity Map



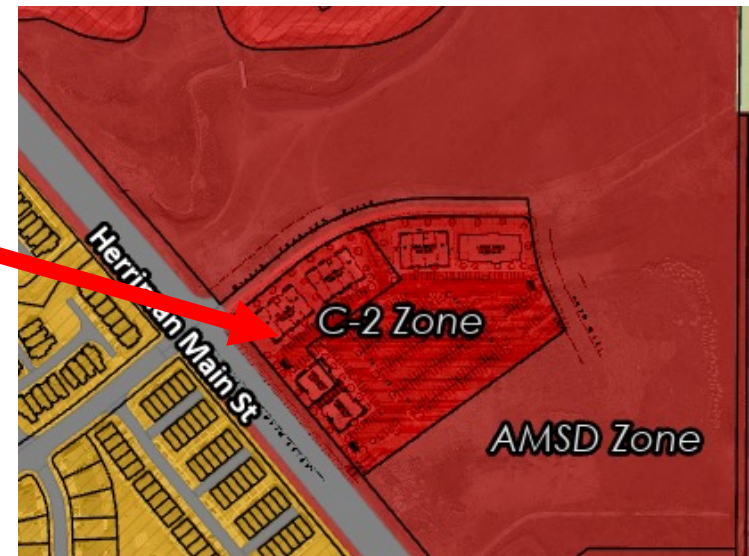
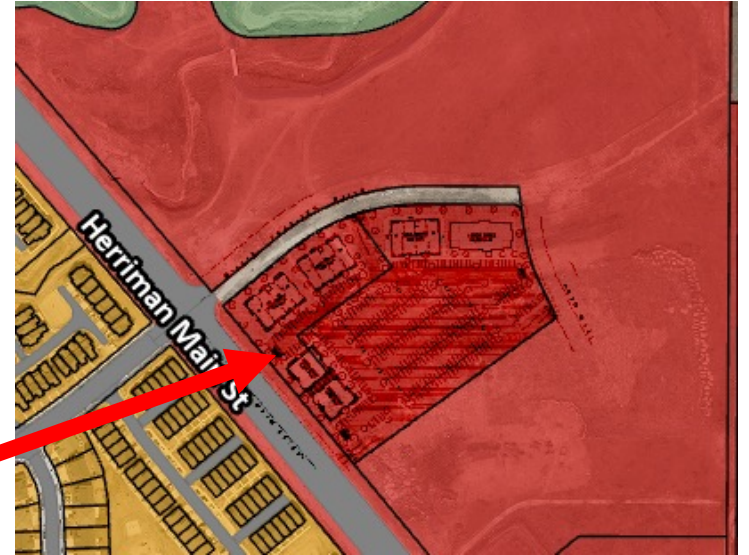
Background

- MDA approved in Nov 2019
- Due to market changes, applicant proposed a new plan
- Amended plan includes:
 - Restaurant pads
 - Multi-use buildings
 - Office building



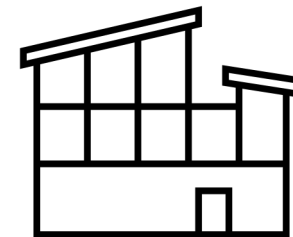
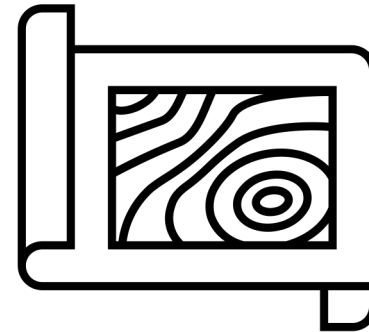
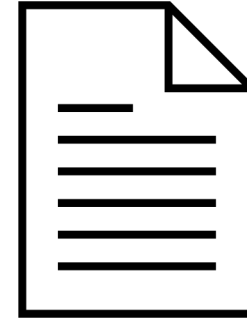
Issues for Consideration

- Consistent with General Plan & Zoning ordinances
 - General Plan: Commercial
 - Zone: C-2 (Commercial)



Plan Provisions

- Amended MDA document
- Conceptual site plan
- Pictures of proposed building elevations



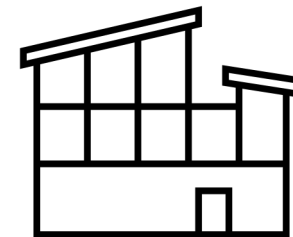
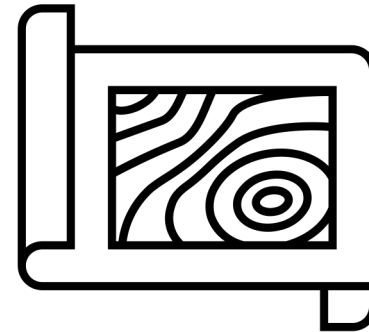
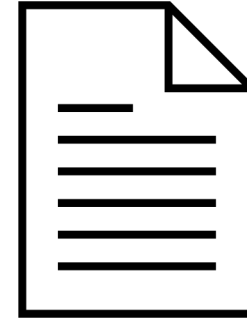
Plan Provisions – Proposal

- Amended MDA document
 - Uses:
 - Indoor recreation
 - Office
 - Retail
 - Restaurant, General
 - “Restaurant, Fast-Food” not included, but should it be?
 - Refers to design guidelines & exhibits
 - Only provided pics of potential building elevations



Plan Provisions – Staff Review

- Amended MDA document
 - Missing details/clarification
- Conceptual site plan
 - Possible improvements
- Pictures of proposed building elevations
 - No formal design guidelines



Issues for Consideration

Parking

- Will comply with ordinance or provide parking study

Subdivision

- Needs to be amended to accommodate new development (post-MDA approval)

Architecture

- Follow C-2 standards with additional options/materials
- 4-sided architecture

Landscaping

- Follow City ordinance

Issues for Consideration – Staff Recommendations

- Massing buildings on street corners or providing landscaped entrance into the development as stated in the design guidelines



OR



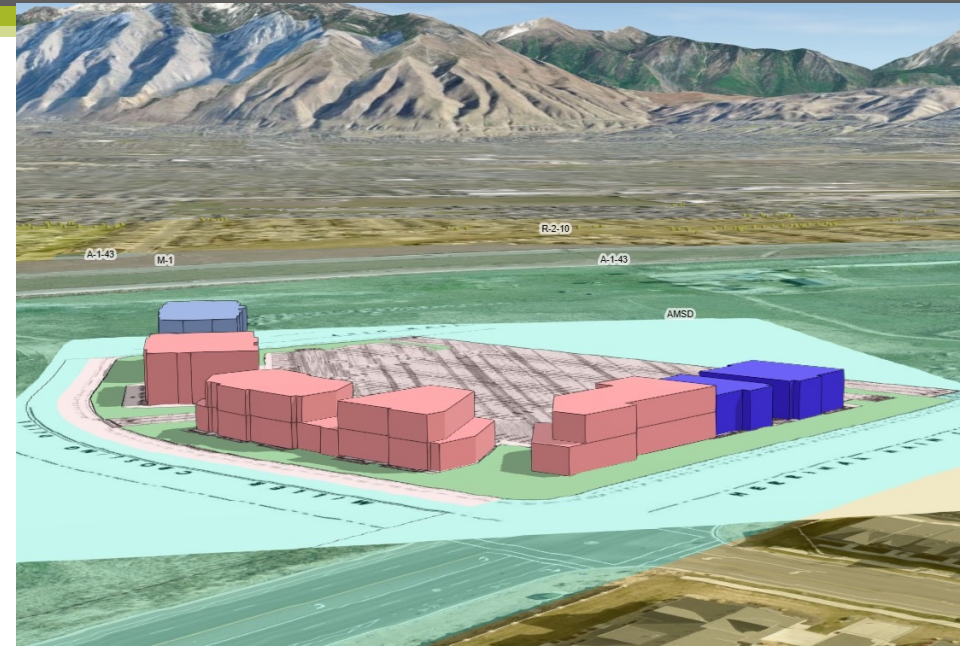
- Provide both a gathering area and outdoor dining area for the development



AND



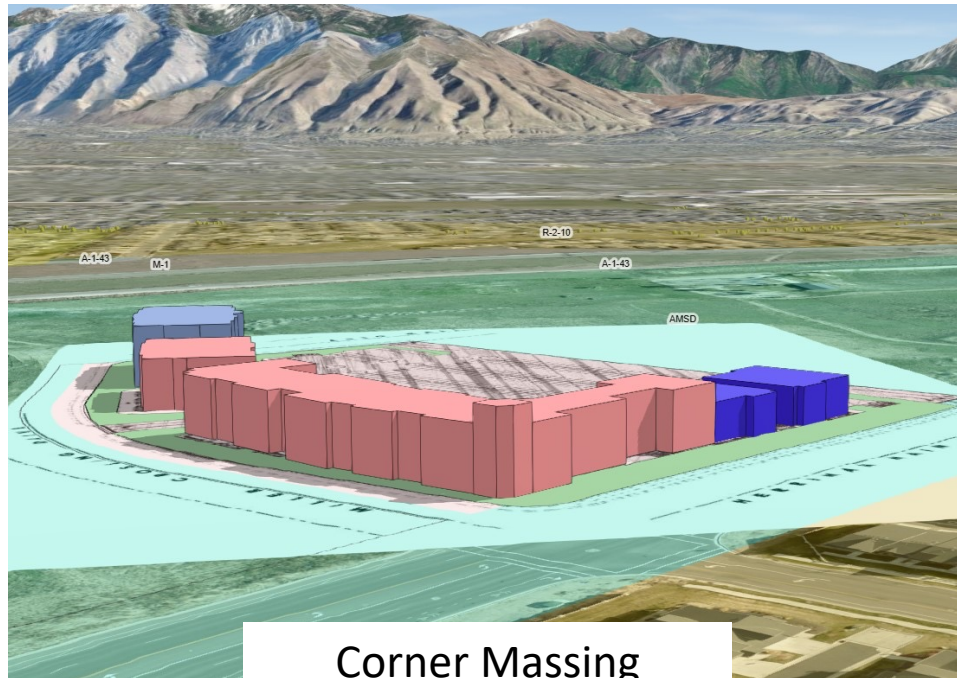
Building Massing Examples



Landscaped Entrance



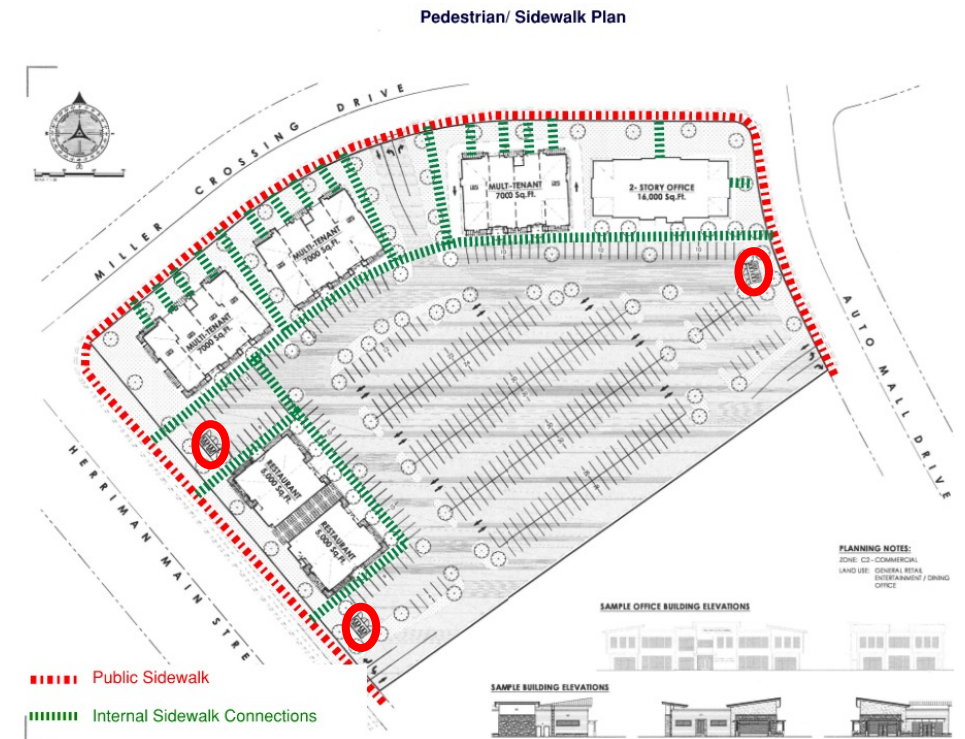
Proposed Traditional



Corner Massing

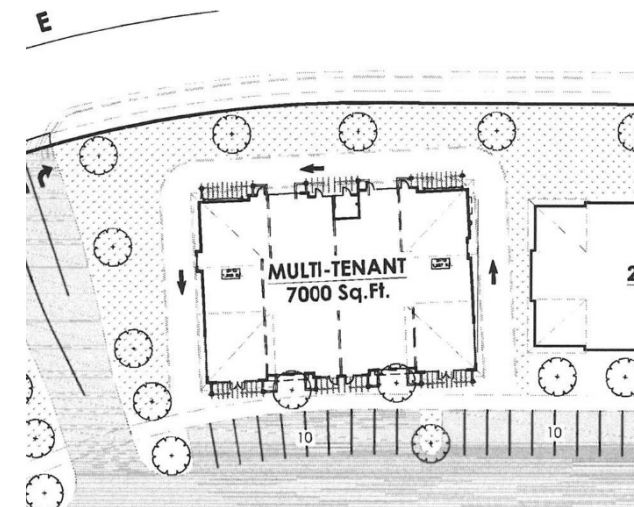
Issues for Consideration – Staff Recommendations

- Move dumpster locations away from the public-facing frontages
- Provide pedestrian/sidewalk plan



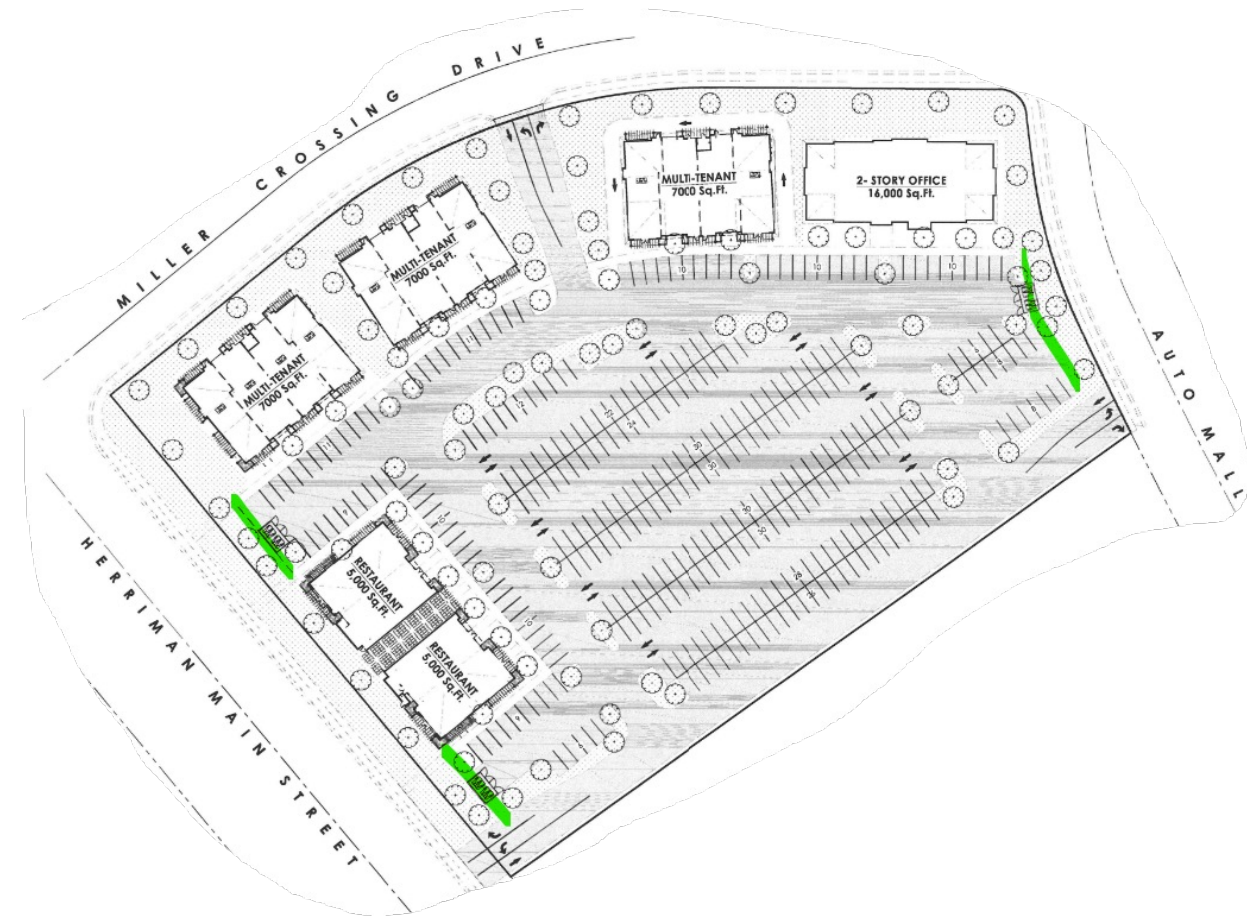
Issues for Consideration – Staff Recommendations

- Include minimum materials and building features for the site
 - C-2 standards plus:
 - Additional durable, quality materials as approved by PC
 - 30% glazing on ground floor
- Regulations for drive-thru
 - No more than two in project



Issues for Consideration – Staff Recommendations

- Enhance existing landscaping regulations to increase parking lot buffering from the public street



City Council Considerations

Planning Commission Recommendations:

- Clarify City ordinance applies when not detailed
- Clarify “Restaurant, Fast Food” is desired; provide regulations
- Landscape bonding from Nov-Mar only
- All parking to meet current City standards, with a maximum of 110% parking allowed
- Amend plat after MDA approval
- Provide updated Design Guidelines and conceptual site plan showing the following general requirements:
 - Massing buildings on street corners or providing a landscaped entrance into the development as stated in the Design Guidelines
 - Provide both a gathering area and an outdoor dining area for the development
 - Move dumpster locations away from street frontages
 - Provide a pedestrian sidewalk plan with high connectivity between all site features
 - Include minimum materials and building features for the site
 - Provide regulations for drive-thru lanes in the development (with outdoor dining requirement)
 - Enhance existing landscaping regulations to increase parking lot buffering from the public street

Precedent Imagery – Corner Massing/Glazing



Precedent Imagery – Corner Landscape Entry/ Plaza

