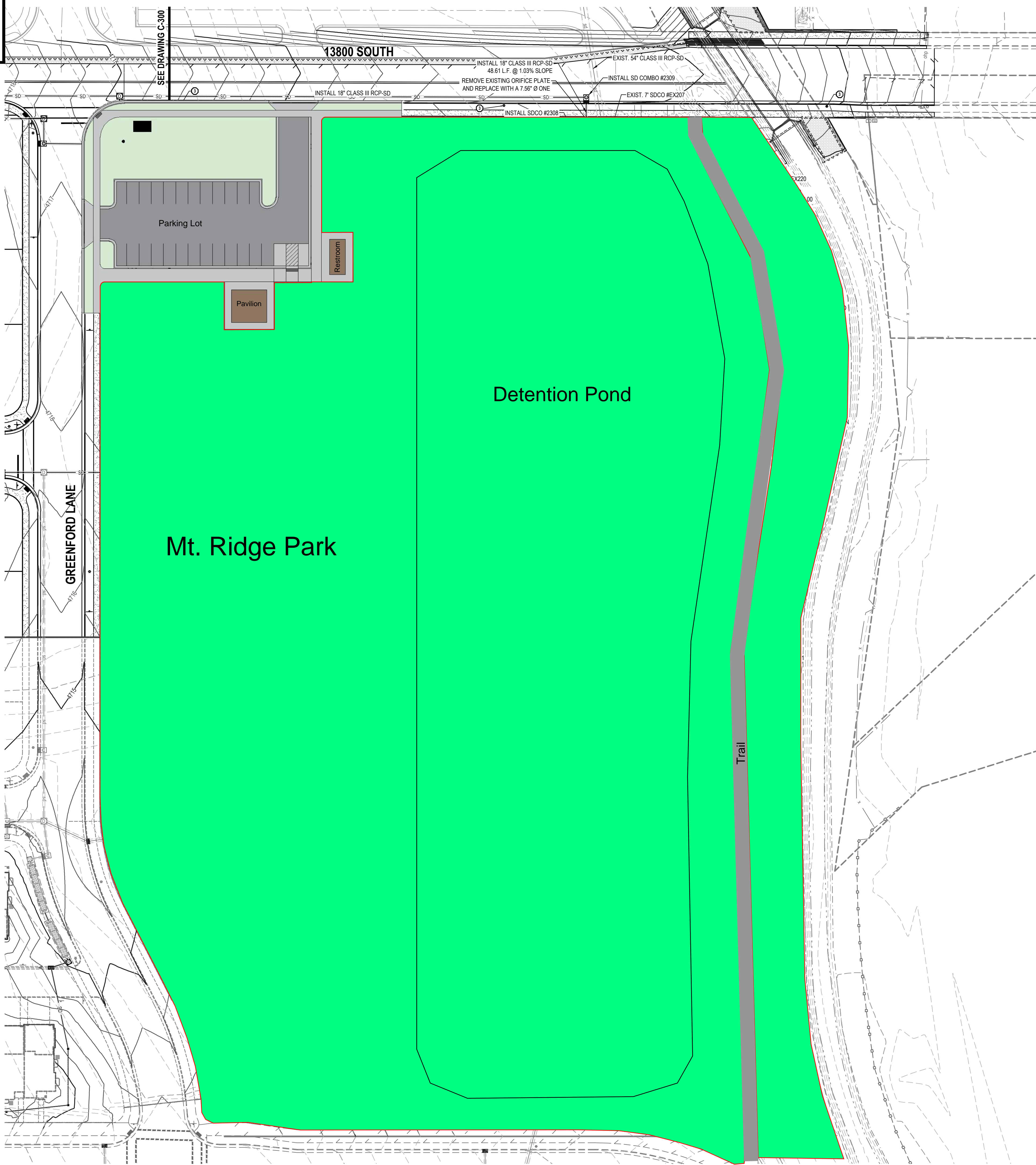


811
 Know what's below.
 Call before you dig.

CALL BLUESTAKES
 @ 811 AT LEAST 48 HOURS
 PRIOR TO THE
 COMMENCEMENT OF ANY
 CONSTRUCTION.

BENCHMARK
 NORTH QUARTER CORNER OF SECTION 6,
 TOWNSHIP 4 SOUTH, RANGE 1 WEST,
 SALT LAKE BASE AND MERIDIAN
 ELEV = 4715.69'



- GENERAL NOTES**
- ALL WORK TO COMPLY WITH THE GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
 - ALL IMPROVEMENTS MUST COMPLY WITH ADA STANDARDS AND RECOMMENDATIONS.
 - ALL WORK SHALL COMPLY WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER POSSIBLY INCLUDING, BUT NOT LIMITED TO, REMOVAL OF UNCONSOLIDATED FILL, ORGANICS, AND DEBRIS, PLACEMENT OF SUBSURFACE DRAIN LINES AND GEOTEXTILE, AND OVEREXCAVATION OF UNSUITABLE BEARING MATERIALS AND PLACEMENT OF ACCEPTABLE FILL MATERIAL.
 - THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE EXISTING SOIL CONDITIONS.
 - ELEVATIONS HAVE BEEN TRUNCATED FOR CLARITY. XXX.XX REPRESENTS AN ELEVATION OF 4XXX.XX ON THESE PLANS.
 - LANDSCAPED AREAS REQUIRE SUBGRADE TO BE MAINTAINED AT A SPECIFIC ELEVATION BELOW FINISHED GRADE AND REQUIRE SUBGRADE TO BE PROPERLY PREPARED AND SCARIFIED. SEE LANDSCAPE PLANS FOR ADDITIONAL INFORMATION.
 - SLOPE ALL LANDSCAPED AREAS AWAY FROM BUILDING FOUNDATIONS TOWARD CURB AND GUTTER OR STORM DRAIN INLETS.
 - EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED UPON RECORD INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF THESE PLANS. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND LOCATION OF THE UTILITIES SHOWN ON THESE PLANS OR INDICATED IN THE FIELD BY LOCATING SERVICES. ANY ADDITIONAL COSTS INCURRED AS A RESULT OF THE CONTRACTOR'S FAILURE TO VERIFY THE LOCATIONS OF EXISTING UTILITIES PRIOR TO THE BEGINNING OF CONSTRUCTION IN THEIR VICINITY SHALL BE BORNE BY THE CONTRACTOR AND ASSUMED INCLUDED IN THE CONTRACT. THE CONTRACTOR IS TO VERIFY ALL CONNECTION POINTS WITH THE EXISTING UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED TO THE EXISTING UTILITIES AND UTILITY STRUCTURES THAT ARE TO REMAIN. IF CONFLICTS WITH EXISTING UTILITIES OCCUR, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION TO DETERMINE IF ANY FIELD ADJUSTMENTS SHOULD BE MADE.
 - ALL STORM DRAIN INFRASTRUCTURE TO BE INSTALLED PER GOVERNING AGENCY OR APWA STANDARD PLANS AND SPECIFICATIONS.
 - ENSURE MINIMUM COVER OVER ALL STORM DRAIN PIPES PER MANUFACTURER'S RECOMMENDATIONS. NOTIFY ENGINEER IF MINIMUM COVER CANNOT BE ATTAINED.
 - ALL FACILITIES WITH DOWNSPOUTS/ROOF DRAINS SHALL BE CONNECTED TO THE STORM DRAIN SYSTEM. SEE PLUMBING PLANS FOR DOWNSPOUT/ROOF DRAIN LOCATIONS AND SIZES. ALL ROOF DRAINS TO HAVE MINIMUM 1% SLOPE.
 - THE CONTRACTOR SHALL ADJUST TO GRADE ALL EXISTING UTILITIES AS NEEDED PER LOCAL GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
 - NOTIFY ENGINEER OF ANY DISCREPANCIES IN DESIGN OR STAKING BEFORE PLACING CONCRETE, ASPHALT, OR STORM DRAIN STRUCTURES OR PIPES.
 - THE CONTRACTOR IS TO PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, AND SIGNS, ETC. UNLESS OTHERWISE NOTED ON THESE PLANS.
 - STORM DRAIN STRUCTURE LIDS LOCATED IN SIDEWALK AREAS ARE TO BE ADA COMPLIANT.

- SCOPE OF WORK:**
 PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:
- UNDERGROUND RETENTION CHAMBER SYSTEM: STORMTECH SC-740 OR MC-7200 CHAMBERS (SEE PLAN FOR TYPE) OR APPROVED EQUAL INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. EACH POD OF CHAMBERS IS TO HAVE AN INSPECTION PORT INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. SEE DETAIL 1, 2, AND 3/C-501 FOR MORE INFORMATION.
 - NYLOPLAST 18" ENVIROHOOD OR APPROVED EQUAL. MINIMUM SUMP DEPTHS FOR STORM DRAIN BOXES ARE: 36" FOR 12" PIPE, 37.5" FOR 15" PIPE, AND 45" FOR 18" PIPE.
 - ARTERIAL STREET LIGHTS AND ELECTRICAL BOXES TO BE INSTALLED PER HERRIMAN CITY DESIGN STD 4.08 AND HERRIMAN CITY DETAIL SL-02. SEE SHEET C-501 FOR DETAILS. OWNER TO COORDINATE WITH ROCKY MOUNTAIN POWER COMPANY FOR LOCATION OF TRANSFORMERS.

ENSIGN
 THE STANDARD IN ENGINEERING

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FOR:
 EDGE HOMES
 13702 SOUTH 200 WEST, SUITE B12
 DRAPER, UTAH 84020

CONTACT:
 BRANDON WATSON
 PHONE: (801) 913-7028

MOUNTAIN RIDGE PHASE 10
SENTINEL RIDGE BLVD
HERRIMAN, UTAH



NO.	DATE	REVISION	BY
1			
2			
3			
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6			
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8			

GRADING AND DRAINAGE PLAN

PROJECT NUMBER: 8490B
 PRINT DATE: 5/2/22
 DRAWN BY: JWJ
 CHECKED BY: JKF
 PROJECT MANAGER: JKF

C-301

